



Architectural Standards

The architecture described in the Architectural Standards, describes the character of the campus district, which will occur on blocks @ or larger than the conventional commercial city block. Some will require privacy, and security and therefore will often occur on the interior of the development block. The Mixed-Use building type is designed to accommodate ground floor retail, commercial, or academic uses and upper floors can accommodate not only those uses, but in certain instances residential as well.

In an effort to create a flexible architectural palette, which will contribute to creation of greater worth, over time, the architectural regulations are structured around a hierarchy of *Building Typologies*. Each *Type* is intended to allow delivery of buildings at varying price points based on intended uses.

The concept outlined, is that buildings have varying architectural significance in the creation of any viable campus district. Logically buildings of more prominent Civic value would be placed in more prominent position within the plan, while less architecturally significant, would be dispositioned on streets or within districts of less significant importance to the district.

The explanation of these concepts is defined by the creation of four *Architectural Typologies*. Each *Typology* is explained in detail in the text that follows, but generally each must adhere to the basic principles outlined here:

- All buildings will address the street or public space with primary facades and entries.
- Buildings shall be divided into base, middle and top.
- The base will accommodate street-related storefronts and entries.
- The middle should be divided into bays of regularly space windows.
- The top shall be distinguished from the middle using a variety of architectural elements, and should create a rich profile where the building meets the sky
- Corners and entry locations present unique opportunities for distinguished architecture and signage.

General intent, establishes that Type I is the most formal and is based on the main campus's historic values. As a result it is anticipated that this will be the most expensive to create. Type II is stylistically a departure from the original architecture of the base historic architecture seen on the main campus, while not inexpensive, will be more affordable than Type II. Type III buildings are intended for secondary street frontages, which assemble using less expensive materials and consequently will serve a more utilitarian function. Type IV buildings are the most utilitarian; consequently they are relegated to very limited campus areas.

**Referenced Materials:**

Campus Design Guidelines for Louisiana State University Baton Rouge Campus Facility Design Standards and specifications for Louisiana Sate University

Overview of Typologies

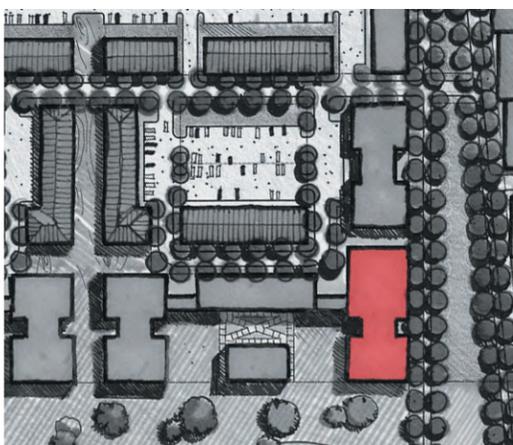
Architectural Typology I



Concept Rendering



Example Building



Example Location on Plan

(Refer to Regulating Plan for Locations)

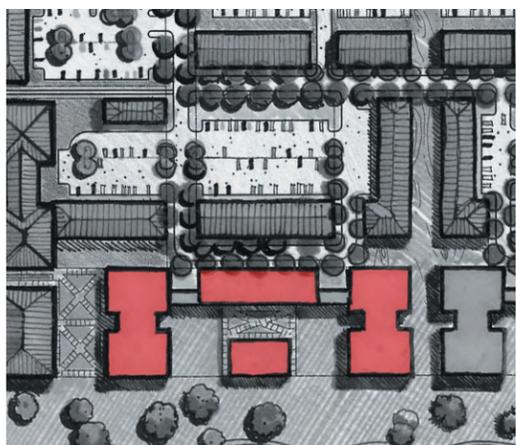
Architectural Typology II



Concept Rendering



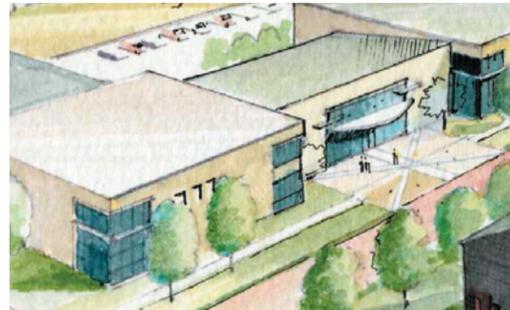
Example Building



Example Location on Plan

(Refer to Regulating Plan for Locations)

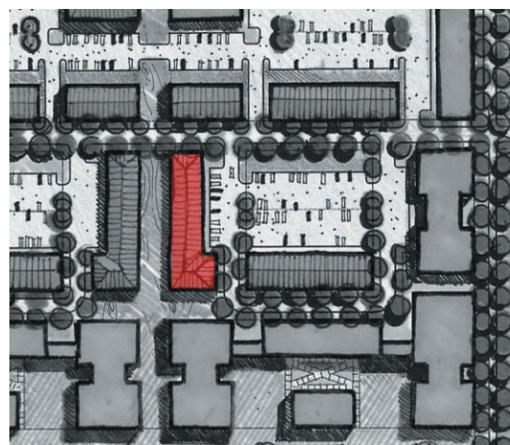
Architectural Typology III



Concept Rendering



Example Building



EXAMPLE LOCATION ON

(Refer to Regulating Plan for Locations)

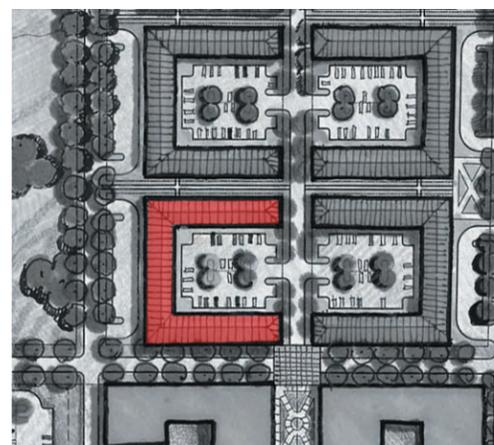
Architectural Typology IV



Concept Rendering



Example Building



Example Location on Plan

(Refer to Regulating Plan for Locations)

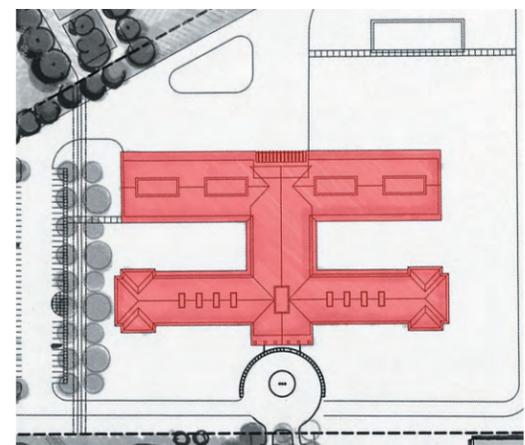
Architectural Typology AFRC



Concept Rendering



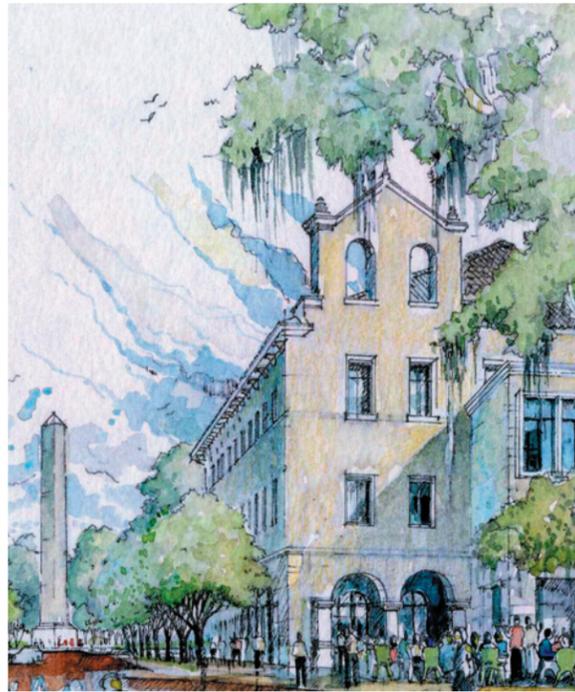
Concept Rendering



Example Location on Plan

(Refer to Regulating Plan for Locations)

Architectural Typology I
Main Distinguishing Characteristics



Example Images.



Main Distinguishing Characteristics

Materials:

Roof:

- Spanish Clay Tile (Terra Cotta)

Walls: (Sandstone or Buff) in Accordance w/ University Standards

- Stucco
- Stone
- Brick
- Concrete

Gutters and Flashing:

- Weathered Copper

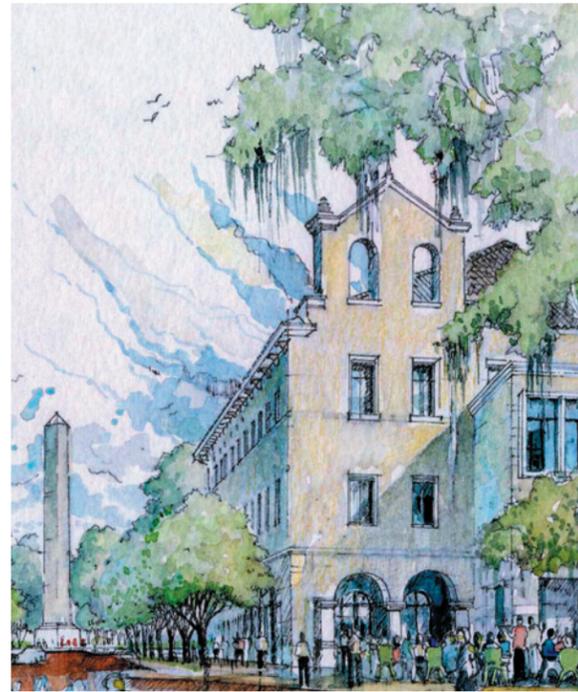
Windows:

- Dark Brown Aluminum Storefront
- Clear or Bronze Tinted Glass (Non Reflective)

Description:

The design foundation for Type I is celebrated in LSU's Main Campus. The architecture initially identified as Northern Italian Renaissance initiated by Frederick Law Omsted and Theodore link in the development of the historic parade grounds and university quad. The architecture can be best described as an orderly arrangement of parts. This historic form has marked LSU, stylistically, while becoming endeared by the LSU alumna and the community at large. In today's economic environment, it is economically very challenging to realize, therefore this type has been relegated to most prominent thoroughfares outlined in the Master Plan.

Architectural Typology I
Materials
Configuration and Techniques



Materials

Building Walls.

Types Prohibited. Wood, vinyl, EIFS, and metal siding and prefabricated or modular construction, and panelized building material.

Type I: Stucco

Stucco is allowed over wood, metal frame or masonry construction. Stucco must have a sand stone or buff finish. Swirl or other patterns are not allowed.

Type II: Masonry

Brick shall be from the preapproved palette of natural stone, molded stone; cast stone may be used. Refer to LSU approved brick and stone colors.

Configuration and Techniques

Building Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. brick changes which occur in a vertical line must occur only at an offset of no less than 12", with the heavier material below the light. Walls of a single building must be built in a consistent configuration.

Garden Walls shall generally be constructed of the same material as the first floor of the primary building. Masonry piers with pickets may replace solid masonry walls. Masonry walls shall be made of stucco, or brick while gates shall be steel. Walls may be perforated.

Stucco or plaster coating may be applied to concrete block, poured concrete, or brick. Stucco shall be steel troweled or a sack wash over brick is allowed.

Trim shall not exceed 6" in width at corners and 4" in width around openings, except at the front door.

Building Elements.

Piers and Arches shall be finished with primary building material i.e. stone, stucco or brick.

Railings shall be made of wood, metal or stone.

Metal Elements shall be wrought iron, copper, or bronzed aluminum.

Driveways can be of concrete, pre-approved palette of brick or concrete pavers. Preferred paving material is concrete.

Parapets shall be capped with stone or brick.

Arcades and Breezeways should have vertically proportioned arched openings.

Colonnades shall have solidity, rhythm, and human scale.

Railings shall have top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the boards or pickets. The openings between the members shall be a minimum of 1" and a maximum of 4".

Balconies shall be structurally supported by brackets, tapered beams, or columns.

Driveways constructed of material other than concrete shall allow the public concrete sidewalk to run continuously without disruption through this area of the driveway.

Roofs/Awnings/Canopies.

Sloped Roofs shall be clad in spanish tile in red, made of synthetic, concrete or natural clay.

Gutters and Downspouts, when used, shall be made of copper (not copper-coated), bronze aluminum. Downspouts shall be placed at the corner of the building least visible from nearby streets. Splash blocks shall be made of concrete, brick or gravel.

Copper Roofs, Flashing, Gutters, and Downspouts shall be allowed to age naturally (not painted or sealed).

Canvas Awnings are not allowed.

Flat Roofs shall be made of material which will a gray or black tone in color

Principal Roof on all freestanding buildings shall be a symmetrical hip or gable with a slope of 7:12. Also allowed are gabled hips, hipped gables, and flared hips.

Flat Roofs shall align with the cornice lines / parapets. Flat roofs shall be no more than 50% of roof.

Ancillary Roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.

Eaves shall be continuous, unless overhanging a balcony or porch. Eaves shall have an overhang from 12" to 26". Overhanging eaves may have exposed rafters.

Exposed Gutters and Downspouts shall be round, square, or ogee.

No through **Roof Penetration** for mechanical or electrical devices shall be allowed to penetrate the roof at the building's frontage's. Penetrations of these devices at approved locations will be of color to match the roof.

Windows and Doors.

Windows, Doors, and Storefronts shall be bronze aluminum. Doors shall be bronze anodized aluminum in a silver, grey, or bronze color. Glass shall be no greater than 15% reflectivity.

Shutters are not considered appropriate.

Security Doors and Window Grilles are not allowed.

Bay Windows are not considered appropriate.

Windows shall be rectangular or arched, vertically proportioned and may be operable. Transoms may be oriented horizontally with panes which match other configurations. Multiple windows in the same rough opening shall be separated by a 2" minimum post. The window sash shall be located interior to the centerline of the wall. Window sills in masonry construction shall project a minimum of 1 inch from the face of the building.

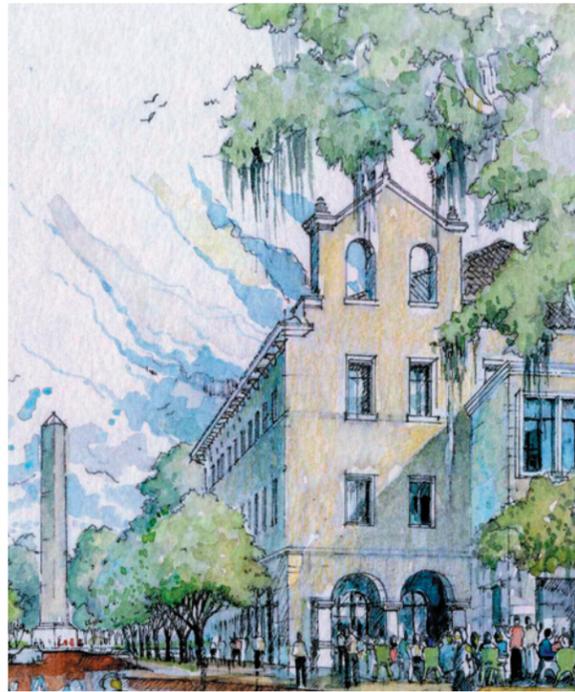
All vertically superimposed **Openings** shall be aligned and centered along the vertical axis.

Window Muntins are encouraged and shall be true divided light or (fixed on the interior and exterior surfaces) simulated divided, and shall create panels of square or vertical proportion.

Large Service Doors shall be located only in service areas indicated by plan.

Shutters are not allowed.

Architectural Typology I
Building Amenities and Notes



Amenities

Building Walls.

Building Walls shall be one color per material used. Colors of stucco shall be consistent with building wall types. Trim (balcony and porch posts, rails, window trim, rafter tails, etc) shall be painted to compliment the columns and overall value of the building. An accent color, for items such as the front door, pickets, and trim, may be used subject to approval from the LSU Campus Standards. Walls and fences shall be in a range of colors approved for their respective materials. Other colors may be added to the list in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. Final color palette shall be in accordance with the selections made by the LSU Campus Standards. All paint selections shall be “premium grade” or better.

Notes

The Following Shall not Be Permitted: panelized wall materials, quoins, stucco covered, foam moldings, window air-conditioning units, exposed exterior fluorescent lights, exposed exterior flood lights, above ground pools, antennas, flags and flagpoles (except official flags in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards), direct vent fireplaces, external alarm systems, and skylights.

Variances to the architectural regulations may be granted on the basis of architectural merit.

These regulations will be updated periodically, and all subsequent changes will apply to all buildings which have yet to complete the schematic design phase.

Trim exceeding 6” in width not allowed.

Building Elements.

Trim (balcony and porch posts, rails, window trim, rafter tails, etc.) shall be painted or stained to compliment the overall value of the building. An accent color for items such as the entry door, pickets & trim may be used subject to approval from the LSU design review board.

Garage aprons shall be of square or rectangular pervious concrete pavers, brick or concrete. Pavers must contrast drastically with the street surface color.

The Following Shall Be Subject to Approval from the LSU Design Review Board: brick, mortar colors, and patterns, fence designs and exterior light fixtures.

The Following Shall Be Permitted Only in Rear Yards and Where not Easily Visible from Street or Paths. Handicap ramps, hvac equipment (“silent” models preferred), utility meters, and garbage collection equipment.

Balconies not visibly supported on posts or brackets are not allowed.

Curved, Scalloped, and/or Back Lit Awnings, or Back Lit Signs are not allowed.

Building Addresses shall be posted as required by local requirements on the main building.

Roofs/Awnings/Canopies.

The Following Shall not Be Permitted: metal finishes in any color other than those indicated in this document or as stated in the .

Excessively complicated **Roofs** are not allowed.

Windows and Doors.

Sliding Doors and Windows shall not be used.

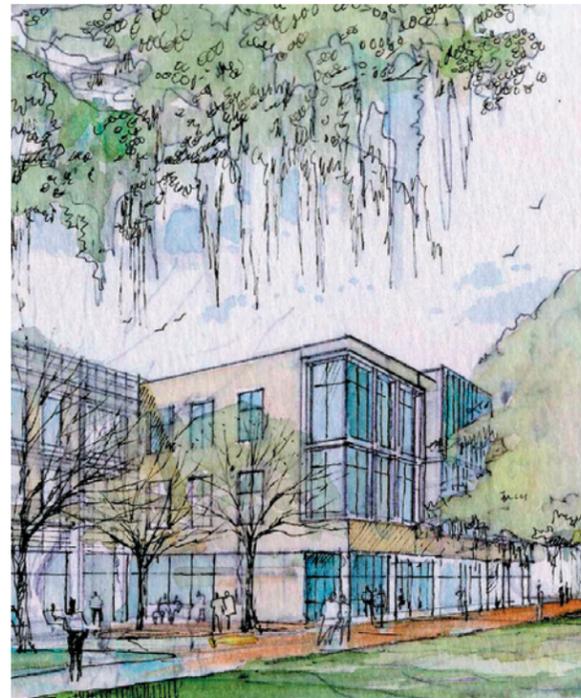
Snap-in Muntins shall not be visible from the exterior

Stained or Tinted Glass is not allowed except by variance.

Shutters are not allowed.



Architectural Typology II
 Main Distinguishing Characteristics



Example Images.



Main Distinguishing Characteristics.

Materials:

Roof:

- Flat
- Standing Seam Metal
- Built Up

Walls: (Sandstone or Buff)

- Stucco
- Brick
- Concrete
- Metal Panels

Gutters and Flashing:

- Anodized or Pre-finished

Windows:

- Clear Anodized Aluminum Storefront
- Clear or Bronze Tinted Glass (Non Reflective).

Description:

Type II is stylistically a departure from the original architecture of the historic quad. It is however intended to utilize similar architectural techniques of floor plate alignment, scale, and material palette and differ in its articulation of assembly. It is intended, that the architecture generated by this assembly be stylistically progressive while still regionally and environmentally sensitive. It is further anticipated, that the cost to develop this type, while not inexpensive, will be more affordable than type I.



Architectural Typology II
Materials
Configuration and Techniques



Materials

Building Walls.

Types prohibited. Wood, vinyl, and EIFS.

Type I: Metal Panel

Manufactured wall panels with solid core construction, finished in fluoropolymer, siliconized polyester, acrylic or translucent panels of glass fiber reinforced polyester.

Type II: Stucco

Stucco is allowed over wood, metal frame or masonry construction. Stucco must have a sand stone or buff finish. Swirl or other patterns are not allowed.

Type III: Masonry

Brick shall be from the preapproved palette of wire cut or, natural stone, molded stone; cast stone may be used.

Configuration and Techniques

Building Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. brick changes which occur in a vertical line must occur only at an offset of no less than 12", with the heavier material below the light. Walls of a single building must be built in a consistent configuration.

Garden walls shall generally be constructed of the same material as the first floor of the primary building. Masonry piers with steel pickets may replace solid masonry walls. Masonry walls shall be made of stucco or brick while gates shall be steel. Walls may be perforated.

Stucco or plaster coating may be applied to concrete block, poured concrete, or brick. Stucco shall be steel troweled or a sack wash over brick is allowed.

Building Elements.

Metal elements shall be natural colored galvanized steel, anodized or esp aluminum, or marine-grade aluminum.

Driveways can be of concrete, pre-approved palette of brick or concrete pavers. Preferred paving material is concrete.

Railings shall be fabricated of glass, metal, or stainless steel cable.

Arcades and Breezeways should have vertically proportioned openings, arched or flat.

Colonnades shall have solidity, rhythm, connections, and human scale.

Railings shall have top and bottom rails. Top and bottom rails shall be centered on the boards or pickets. The openings between the members shall be a minimum of 1" and a maximum of 4". Rails may be vertically or horizontally proportioned.

Balconies shall be structurally supported by brackets, tapered beams, or columns.

Driveways constructed of material other than concrete shall allow the public concrete sidewalk to run continuously without disruption through this area of the driveway.

Roofs/Awnings/Canopies.

Sloped Roofs shall be clad in galvanized steel, or manufactured roof panels.

Gutters and Downspouts, when used, shall be made of galvanized steel, anodized, or aluminum. Downspouts shall be placed at the corner of the building least visible from nearby streets. Splash blocks shall be made of concrete, brick or gravel.

Flashing

Canvas Awnings are not allowed. Canopies when used shall be made of metal or glass.

Flat Roofs shall be made of material consistent with the design of the roof.

Flat Roofs shall align with the cornice lines/parapets.

Ancillary Roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.

Exposed Gutters and Downspouts shall be round or square.

No through **Roof Penetration** for mechanical or electrical devices shall be allowed to penetrate the roof at the building's frontage's. Penetrations of these devices at approved locations will be of color to match the roof.

Windows and Doors.

Windows, Doors, and Storefronts shall be anodized aluminum. Doors shall be anodized aluminum in a silver, grey, or bronze color. Glass shall be no greater than 15% reflectivity.

Shutters are not allowed.

Security Doors and Window Grilles are not allowed.

Bay Windows are not allowed.

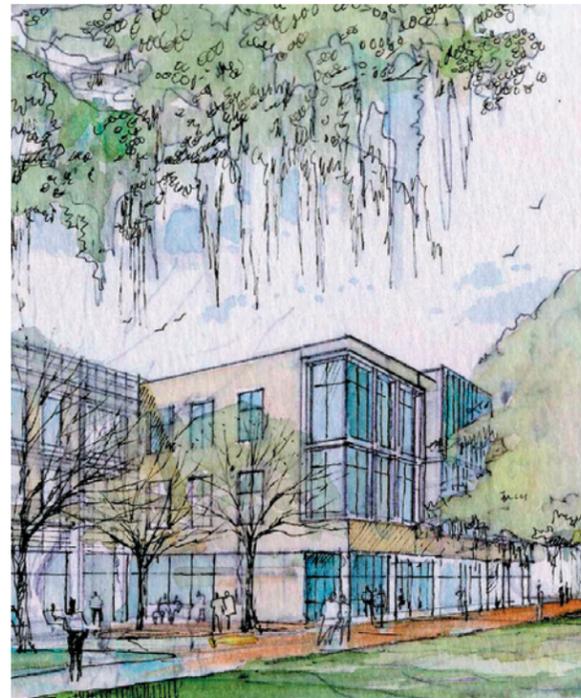
Windows shall be rectangular, vertically proportioned and not required to be operable. Transoms may be oriented horizontally with panes which match other configurations. Multiple windows in the same rough opening may have butt glazing. The window sash may be located near the outer wall plane. Window sills in masonry construction may not project from the face of the building. Spandrel glass may be used.

Window Muntins are encouraged and shall be true divided light or fixed on the interior and exterior surfaces, and shall create panels of square or vertical proportion.

Garage Doors shall be located only in service areas indicated by plan.



Architectural Typology II
Amenities and Notes



Amenities

Building Walls.

Building Walls shall be one color per material used. Colors of stucco shall be consistent with building wall types. Trim (balcony and porch posts, rails, window trim, rafter tails, etc) shall be painted to compliment the columns and overall value of the building. An accent color, for items such as the front door, pickets, trim, and shutters, may be used in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards. Walls and fences shall be in a range of colors approved for their respective materials. Other colors may be added to the list after reviewing the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards. Final color palette shall be in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards. All paint selections shall be “premium grade” or better.

Notes

The Following Shall not Be Permitted: quoins, stucco covered, foam moldings, exposed exterior fluorescent lights, exposed exterior flood lights, above ground pools antennas, flags and flagpoles (except official flags of countries in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards, states, counties and cities), direct vent fireplaces, external alarm systems, and skylights.

Variiances to the architectural regulations may be granted on the basis of architectural merit.

These regulations will be updated periodically, and all subsequent changes will apply to all buildings which have yet to complete the schematic design phase.

Building Elements.

Trim (balcony and porch posts, rails, window trim, rafter tails, etc.) Shall be painted or stained to compliment the overall value of the building.

Garage aprons shall be of square or rectangular pervious concrete pavers, brick or concrete. Pavers must contrast drastically with the street surface color.

The Following Shall be Subject to Approval from the LSU Design Review Board: brick, mortar colors, and patterns, fence designs and exterior light fixtures.

The Following Shall Be Permitted Only in Rear Yards and Where not Easily Visible from Street or Paths. Handicap ramps, hvac equipment (“silent” models preferred), utility meters.

Balconies may be cantilevered or supported on posts

Curved, Scalloped, and/or Back Lit Awnings, or Back Lit Signs are not allowed.

Building Addresses shall be posted as required by local requirements on the main building.

Roofs/Awnings/Canopies.

The Following Shall not Be Permitted: metal finishes in any color other than those indicated in this document or in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards.

Excessively complicated **Roofs** are not allowed.

Windows and Doors.

Sliding Doors and Windows are allowed.

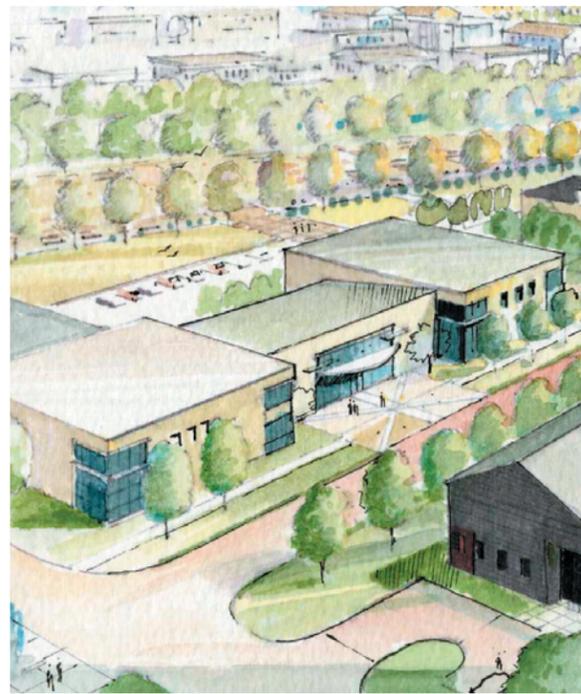
Snap-in Muntins shall not be permitted

Stained or Tinted Glass is not allowed.

Shutters are not allowed.



Architectural Typology III
Main Distinguishing Characteristics



Example Images.



Main Distinguishing Characteristics.

Materials:

- Roof:**
- Standing Seam Metal
 - Built Up

- Walls: (Sandstone or Buff)**
- Stucco
 - Brick
 - Concrete
 - Metal Siding
 - Metal Panels

- Gutters and Flashing:**
- Anodized or Pre-finished in Gray or Bronze

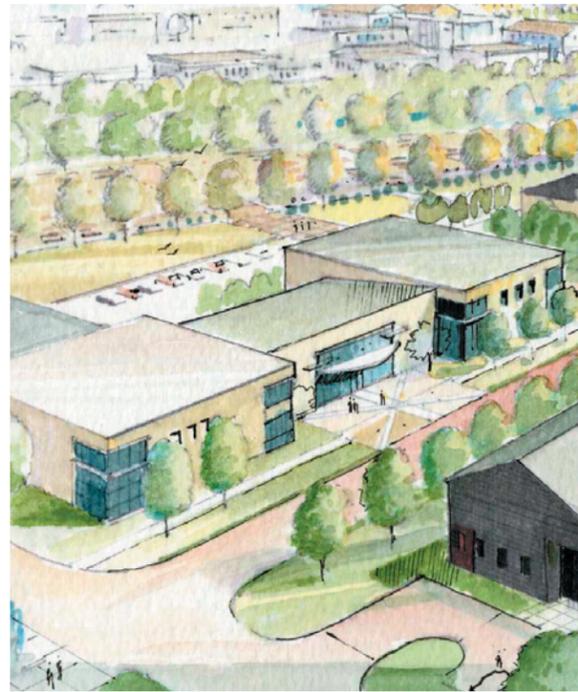
- Windows:**
- Clear Anodized Aluminum Storefront/Curtain-wall
 - Clear or Bronze Tinted Glass (Non Reflective).
 - Translucent Panels

Description:

Type III buildings are intended for secondary street frontages of the built campus. Stylistically, Type III subscribes to the same articulation techniques as Type II, with a material palette, which is more cost constrained and should result in a more affordable construction, something requested by the university to accommodate the needs of a starter company.



Architectural Typology III
 Materials
 Configuration and Techniques



Materials

Building Walls.
Types Prohibited. Wood, vinyl, and EIFS.
Type I: Metal Panel
 Manufactured wall panels with solid core construction, finished in fluoropolymer, siliconized polyester, acrylic or translucent panels of glass fiber reinforced polyester, or metal building system in accordance with the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards
Type II: Stucco
 Stucco is allowed over wood, metal frame or masonry construction. Stucco must have a sand stone or buff finish. Swirl or other patterns are not allowed.
Type III: Masonry
 Brick shall be from the preapproved palette of wire cut or, natural stone, molded stone; cast stone may be used.

Configuration and Techniques

Building Walls may be built of no more than three materials.
 Garden walls shall generally be constructed of the same material as the first floor of the primary building. Masonry piers with steel pickets may replace solid masonry walls. Masonry walls shall be made of stucco or brick while gates shall be steel. Walls may be perforated.
 Stucco or plaster coating may be applied to concrete block, poured concrete, or brick. Stucco shall be steel troweled or a sack wash over brick is allowed.

Building Elements.
Metal Elements shall be natural colored galvanized steel, anodized or esp aluminum, or marine-grade aluminum.
Driveways can be of concrete, pre-approved palette of brick or concrete pavers. Preferred paving material is concrete.
Railings shall be fabricated of glass, metal, or ss cable.

Arcades and Breezeways should have vertically proportioned openings, arched or flat.
Colonnades shall have solidity, rhythm, connection, and human scale.
Railings shall have top and bottom rails. Top and bottom rails shall be centered on the boards or pickets. The openings between the members shall be a minimum of 1" and a maximum of 4". Rails may be vertically or horizontally proportion.
Balconies shall be structurally supported by brackets, tapered beams, or columns.
Driveways constructed of material other than concrete shall allow the public concrete sidewalk to run continuously without disruption through this area of the driveway.

Roofs/Awnings/Canopies.
Sloped Roofs shall be clad in galvanized steel, manufactured roof panels, or built up asphalt.
Gutters and Downspouts, when used, shall be made of galvanized steel, anodized, or aluminum. Downspouts shall be placed at the corner of the building least visible from nearby streets. Splash blocks shall be made of concrete, brick or gravel.
Flashing
Canvas Awnings are not allowed. Canopies when used shall be made of metal or glass.
Flat Roofs shall be made of material consistent with the design of the roof.

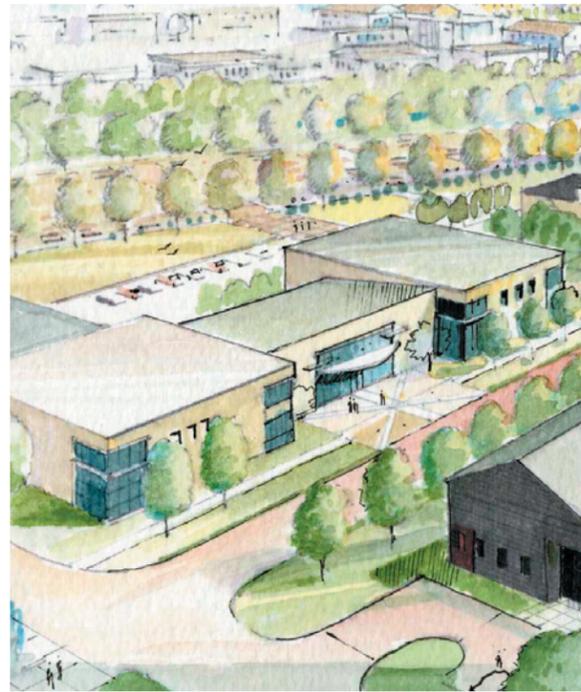
Flat Roofs shall align with the cornice lines /parapets.
Ancillary Roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.
Exposed Gutters and Downspouts shall be round or square.
 No through **Roof Penetration** for mechanical or electrical devices shall be allowed to penetrate the roof at the building's frontage's. Penetrations of these devices at approved locations will be of color to match the roof.

Windows and Doors.
Windows, Doors, and Storefronts shall be anodized aluminum. Doors shall be anodized aluminum in a silver, grey, or bronze color. Glass shall be no greater than 15% reflectivity.
Shutters are not allowed.
Security Doors and Window Grilles are not allowed.
Bay Windows are not allowed.

Windows shall be rectangular, vertically proportioned and not required to be operable. Transoms may be oriented horizontally with panes which match other configurations. Multiple windows in the same rough opening may have butt glazing. The window sash may be located near the outer wall plane. Window sills in masonry construction may not project from the face of the building. Spandrel glass may be used.
Window Muntins are encouraged and shall be true divided light or fixed on the interior and exterior surfaces, and shall create panels of square or vertical proportion.
Garage Doors shall be located only in service areas indicated by plan.



Architectural Typology III
Building Amenities and Notes



Amenities

Building Walls.
Building Walls shall be one color per material used. Colors of stucco shall be consistent with building wall types. Trim (balcony and porch posts, rails, window trim, rafter tails, etc) shall be painted to compliment the columns and overall value of the building. An accent color, for items such as the front door, pickets, trim, and shutters, may be used subject to adherence to the LSU Board of Supervisors Design Guidelines or the LSU Campus Standards. Walls and fences shall be in a range of colors approved for their respective materials. Other colors may be added to the list in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. Final color palette shall be in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. All paint selections shall be “premium grade” or better.

Notes

The Following Shall not Be Permitted: quoins, stucco covered, foam moldings, exposed exterior fluorescent lights, exposed exterior flood lights, above ground pools antennas, flags and flagpoles (except official flags of countries, states, counties and cities in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards), direct vent fireplaces, external alarm systems, and skylights.

Variances to the architectural regulations may be granted on the basis of architectural merit.

These regulations will be updated periodically, and all subsequent changes will apply to all buildings which have yet to complete the schematic design phase.

Building Elements.
Trim (balcony and porch posts, rails, window trim, rafter tails, etc.) Shall be painted or stained to compliment the overall value of the building.

Garage aprons shall be of square or rectangular pervious concrete pavers, brick or concrete. Pavers must contrast drastically with the street surface color.

The Following Shall Be Subject to Approval from the LSU Design Review Board: brick, mortar colors, and patterns, fence designs and exterior light fixtures.

The Following Shall Be Permitted Only in Rear Yards and Where not Easily Visible from Street or Paths. Handicap ramps, hvac equipment (“silent” models preferred), utility meters.

Balconies may be cantilevered or supported on posts

Curved, Scalloped, and/or Back Lit Awnings, or Back Lit Signs are not allowed.

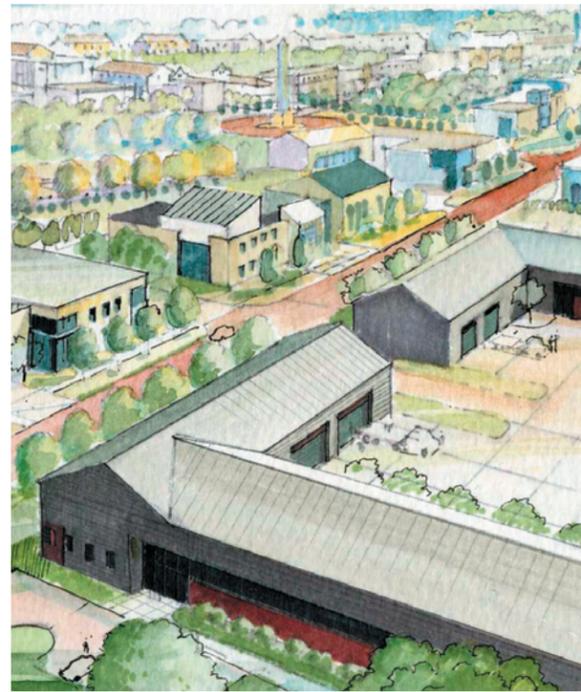
Building Addresses shall be posted as required by local requirements on the main building.

Roofs/Awnings/Canopies.
The Following Shall not Be Permitted: metal finishes in any color other than those indicated in this document or in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards.

Excessively complicated **Roofs** are not allowed.

Windows and Doors.
Sliding Doors and Windows are allowed.
Snap-in Muntins shall not be permitted
Shutters are not allowed.

Architectural Typology IV
 Main Distinguishing Characteristics



Example Images.



Main Distinguishing Characteristics.

Materials:

Roof:
 - Standing Seam Metal or Manufactured Panels

Walls: (Sandstone or Buff)
 - Stucco
 - Brick
 - Concrete
 - Metal Siding
 - Metal Panels

Gutters and Flashing:
 - Anodized or Pre-finished

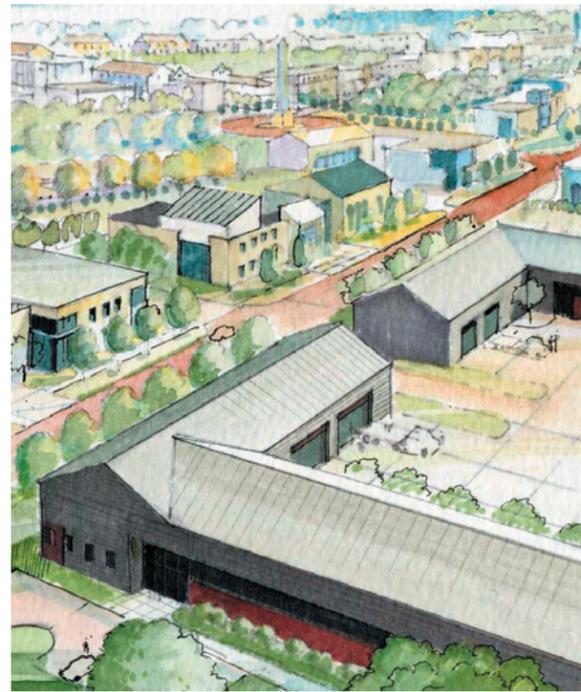
Windows:
 - Clear Anodized Aluminum Storefront
 - Clear or Bronze Tinted Glass (Non Reflective)
 - Translucent Panels

Building:
 - Prefabricated Metal Buildings

Description:

Type IV buildings is the most utilitarian building type to be allowed in the code. It is an attempt to market starter companies who currently operate out of warehouses outside of the campus environment. It is intended that as the campus matures, these buildings will be replaced with one of the more significant types (type I - type III). These buildings are relegated to most mundane street frontages.

Architectural Typology IV
Materials
Configuration and Techniques



Materials

Configuration and Techniques

Building Walls.

Types Prohibited. Vinyl siding and EIFS.

Type I: Metal Siding/Panelized Building Material

Siding/panel color and style to be in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards.

Type II: Stucco

Stucco or exterior insulation finish systems are allowed over wood, metal frame or masonry construction. Stucco must have a smooth, trowel applied and sand finish or lightly textured finish. Swirl or other heavily textured patterns are discouraged.

Type III: Masonry

Brick shall be from the preapproved palette of wire cut or, natural stone, molded stone; cast stone may be used as preapproved.

Type IV: Metal Building System

Metal building system in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards.

Building Walls may be built of no more than three materials.

Garden walls shall generally be constructed of the same material as the first floor of the primary building. Masonry piers with steel pickets may replace solid masonry walls. Masonry walls shall be made of stucco or brick while gates shall be steel. Walls may be perforated.

Stucco or plaster coating may be applied to concrete block, poured concrete, or brick. Stucco shall be steel troweled or a sack wash over brick is allowed.

Building Elements.

Metal Elements shall be natural colored galvanized steel, anodized or esp aluminum, or marine-grade aluminum.

Driveways can be of concrete, pre-approved palette of brick or concrete pavers. Preferred paving material is concrete.

Railings shall be fabricated of glass, metal, or ss cable.

Arcades and Breezeways should have vertically proportioned openings, arched or flat.

Colonnades shall have solidity, rhythm, connection, and human scale.

Railings shall have top and bottom rails. Top and bottom rails shall be centered on the boards or pickets. The openings between the members shall be a minimum of 1" and a maximum of 4". Rails may be vertically or horizontally proportion.

Balconies shall be structurally supported by brackets, tapered beams, or columns.

Driveways constructed of material other than concrete shall allow the public concrete sidewalk to run continuously without disruption through this area of the driveway.

Fences as defined in this code are not allowed.

Roofs/Awnings/Canopies.

Sloped Roofs shall be clad in galvanized steel, manufactured roof panels, or built up asphalt.

Gutters and Downspouts, when used, shall be made of galvanized steel, anodized, or aluminum. Downspouts shall be placed at the corner of the building least visible from nearby streets. Splash blocks shall be made of concrete, brick or gravel.

Flashing shall be made of galvanized steel, anodized, or aluminum.

Canvas Awnings are not allowed. Canopies when used shall be made of metal or glass.

Flat Roofs shall be made of material consistent with the design of the roof.

Flat Roofs shall align with the cornice lines / parapets.

Ancillary Roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.

Exposed Gutters and Downspouts shall be round or square.

No through **Roof Penetration** for mechanical or electrical devices shall be allowed to penetrate the roof at the building's frontage's. Penetrations of these devices at approved locations will be of color to match the roof.

Windows and Doors.

Windows, Doors, and Storefronts shall be anodized aluminum. Doors shall be anodized aluminum in a silver, grey, or bronze color. Glass shall be no greater than 15% reflectivity.

Shutters are not allowed.

Security Doors and Window Grilles are not allowed.

Bay Windows are not allowed.

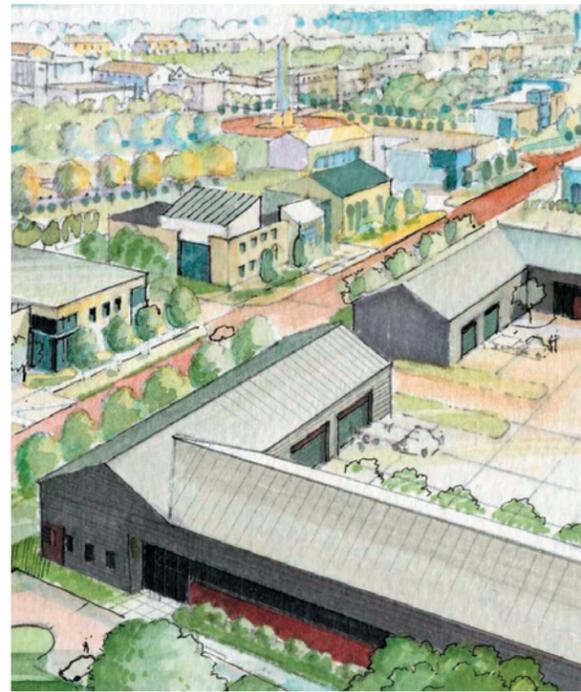
Windows shall be rectangular, vertically proportioned and not required to be operable. Transoms may be oriented horizontally with panes which match other configurations. Multiple windows in the same rough opening may have butt glazing. The window sash may be located near the outer wall plane. Window sills in masonry construction may not project from the face of the building. Spandrel glass may be used.

Window Muntins are encouraged and shall be true divided light or fixed on the interior and exterior surfaces, and shall create panels of square or vertical proportion.

Garage Doors shall be located only in service areas indicated by plan.



Architectural Typology IV
Building Amenities and Notes



Amenities

Notes

Building Walls.

Building Walls shall be one color per material used. Colors of stucco shall be consistent with building wall types. Trim (balcony and porch posts, rails, window trim, rafter tails, etc) shall be painted to compliment the columns and overall value of the building. An accent color, for items such as the front door, pickets, trim, and shutters, may be used in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. Walls and fences shall be in a range of colors approved for their respective materials. Other colors may be added to the list in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. Final color palette shall be in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards. All paint selections shall be "premium grade" or better.

The Following Shall Not Be Permitted: quoins, stucco covered, foam moldings, exposed exterior fluorescent lights, exposed exterior flood lights, above ground pools antennas, flags and flagpoles (except official flags of countries, states, counties and cities in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards), direct vent fireplaces, external alarm systems, and skylights.

Variiances to the architectural regulations may be granted on the basis of architectural merit.

These regulations will be updated periodically, and all subsequent changes will apply to all buildings which have yet to complete the schematic design phase.

Wood which is not finished with a paint or stain is not allowed.

Building Elements.

Trim (balcony and porch posts, rails, window trim, rafter tails, etc.) Shall be painted or stained to compliment the overall value of the building.

Garage aprons shall be of square or rectangular pervious concrete pavers, brick or concrete. Pavers must contrast drastically with the street surface color.

The Following Shall Be Subject to Approval from the LSU Design Review Board: brick, mortar colors, and patterns, fence designs and exterior light fixtures.

The Following Shall Be Permitted Only in Rear Yards and Where not Easily Visible from Street or Paths. Handicap ramps, hvac equipment ("silent" models preferred), utility meters.

Balconies may be cantilevered or supported on posts

Curved, Scalloped, and/or Back Lit Awnings, or Back Lit Signs are not allowed.

Building Addresses shall be posted as required by local requirements on the main building.

Roofs/Awnings/Canopies.

The Following Shall not Be Permitted: metal finishes in any color other than those indicated in this document or in accordance with the LSU Board of Supervisors Design Guidelines or the Campus Design Standards.

Excessively complicated **Roofs** are not allowed.

Windows and Doors.

Sliding Doors and Windows are allowed.

Snap-in Muntins shall not be permitted.

Stained or Tinted Glass is not allowed.

Shutters are not allowed.



Appendix





Fences, Walls, and Barriers



The purpose of this section is to provide a design standard in regards to fences, walls, and barriers on campus that is consistent with the overall goals and intent of the 2003 campus master plan which seeks to create a people-friendly environment while at the same time promotes the public health, safety, and the general welfare of the user. To further this goal, the use of fences, walls, and barriers is strongly discouraged and shall only be considered in the following circumstances:

- To contain livestock, maintain animal habitats, and/or to maintain other agricultural needs.
 - To provide a visual buffer of dumpsters, mechanical, and other unsightly structures or equipment.
 - To prevent unauthorized access to high voltage and/or other dangerous area.
 - For security purposes as required by federal, state, or university safety officials.
 - To enhance the quality of a pedestrian oriented courtyard or space in public and residential areas.
 - To secure athletic and academic functions.
1. Design of proposed fences, walls, and barriers is encouraged to reflect the existing heritage and gracious quality exemplified in the historical part of campus through the use of similar materials, color, proportion, and scale. If the use of arches and/or arcades is proposed, then considerations should be given to the character of the arcades surrounding the main quadrangle. The color palette of materials to be used should be within the range of warm earth tones as seen in the historical part of campus which are Generally light in color (i.e., colors found in the sandstone, buff, and terra-cotta families).
 2. Any fence, wall, or barrier shall be constructed in a durable fashion with a finished surface of brick, stone, decorative masonry material, cast stone, painted metal, approved synthetic material, landscape material, and/or a combination of said materials. The use of wood and/or chain link fence shall not be acceptable. Fencing materials shall match surrounding architecture and site character as closely as possible to maintain visual harmony on campus. All designs shall be reviewed by the office of facility development for design integrity prior to presentation to the Facility Development and Design Committee.
 3. The finished side of all walls or fences shall face the common property line boundary.
 4. Fences, walls, and barriers shall be designed to be climb resistant, and shall be reviewed by campus security officials.
 5. All fences, walls, and barriers shall allow access by university maintenance and security officials.

6. When gates are required, they shall be lockable only from the outside and shall conform to all fire and safety codes. Fences, walls, and barriers shall not restrict egress from a confined pedestrian area and campus police and facility services personnel shall be allowed access at all times.
7. When landscape material is used as a fence, wall or barrier this material shall not exceed 5' in height and shall not be used on more than 2 contiguous sides. The use of climbing vines on fences, walls, and barriers is encouraged. All designs which utilize landscape materials shall be Reviewed by the campus landscape architect prior to presentation to the facility development and design committee.
8. When a fence is to be constructed directly adjacent to a pedestrian corridor, the fence height shall be proportionate to the width of the space directly adjacent in order to maintain a comfortable pedestrian atmosphere.

The following guidelines shall govern the design of fences, walls, and barriers when used in their respective campus zone:

Livestock and agriculture

1. Fences shall be constructed with no more than 25% solid materials and should be mostly transparent in nature.
2. Decorative materials shall be utilized when these fences front a main Pedestrian or vehicular corridor.

Dumpster and mechanical equipment screening

1. The height of the fencing material used shall be relative to the equipment being screened; however, the height of this fence shall not exceed 8'.
2. These fences should not be transparent in nature.
3. This fence shall remain open on one (1) side, and this opening shall not be visible from a main pedestrian and/or constructed of a material that is Conductive in nature.

High voltage and other dangerous areas

1. The height of the fencing shall be 8'-12' in height.
2. These fences should not be transparent in nature.
3. These fences shall not be constructed of a material that is conductive in Nature.

Public and/or residential courtyards

1. Fence shall not extend more than 5' in height and shall not extend beyond the building perimeter lines in any direction.
2. Fences shall be constructed with no more than 25% solid materials and should be mostly transparent in nature.

Athletic functions

1. Fence shall extend no more than 8' in height.
2. Opacity of fence structure shall be relative to the function of the athletic area being confined.





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 6, 2007
Subject: National Guard

Table with 3 columns: Charrette Design Team, Invited Attendees, Attendees. Lists names of participants and their roles.

Stake Holder Representatives: Emmett David, Jason Soileau, Charlie D'Agostino

- 11/06/07.001 Steve opened the discussion by orienting the group to the property. Steve discussed the concept of a research campus park and possible uses that could be included in the research park. Steve also listed the research parks indicated by the university that would be applicable for this research park. Steve indicated that all of these parks were researched by the Design Team for a better understanding of what this research park should offer in the way of a master plan.
11/06/07.002 Much discussion was had relative to the possibility of a ceremonial entry or gateway at the National Guard location. It was indicated that 150' of open space must be maintained from parking area. It was discussed that some portions of National Guard property will be fenced and that there will be a controlled entry. There is certain mandates that must occur for the protection of both the National Guard personnel and equipment as well as LSU students, faculty, etc.
11/06/07.003 It was indicated that facilities will mainly be used on weekends; however, there are full-time employees (approximately 40) that will be employed during the week. There will be approximately 400 personnel on weekends.
11/06/07.004 Dual use of parking was discussed. Ten percent (10%) of parking used on weekly basis by National Guard
11/06/07.005 Site retention / detention was discussed. Steve indicated that these will be designed as amenities to the site.
11/06/07.006 Steve indicated that there are both pedestrian and vehicular uses present on the campus. Transportation considerations will be taken into account. Steve discussed the concept of peripheral parking with minimal internal parking. Peripheral parking for clusters or quads concepts are being postulated
11/06/07.007 Steve elaborate on street types, and their designated as "A", "B", or "C" street types. Street design codes will be part of the master plan. Steve indicated that buildings will also have to follow the design code, which pertains to street design codes. One example is a ceremonial boulevard terminating at signature building. Design codes will mandate the type of building allowed on a street. Emmett indicated that it is his intention to protect the National Guard design uses. Currently there are no design code uses. SGT Major indicated that the National Guard want to portray the image of strength of character that says... "we're here because we are caretakers of the public". It was also indicated that it is the

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION

- intention of the National Guard to preserve the architectural character of LSU. Some design elements of the National Guard building were discussed.
11/06/07.008 Charles D'Agostino provided images pre-charrette to serve as a benchmark for the type of facility he envisioned. Steve showed those images to the group.
11/06/07.009 Emmett suggested construction of a grand lawn. This was discussed at length. SGT Major suggested that it could be lined with cypress or oak tree to present style of master plan campus with crest or seal National Guard, Marine Core, etc. The oak or cypress tree was discussed as a symbol of strength. Jason suggest a open, flat and green lawn (sterile type lawn) in lieu of trees would be more conducive to protection. All agreed.
11/06/07.0010 It was also discussed that a marching or parade ground for troop formation could occur at the grand lawn. An adequate size for a parade ground is 80'. Building or quads with primary parking on peripheral on both sides to frame the lawn could occur with an educational component (research lab building) mission fronting the lawn.
11/06/07.0011 Emmett discussed the use of modular labs was discussed. Retail was also discussed. It was discussed that 300' is ideal retail planning space; however, it may be more like 250' - 275'. Utility and access is on the backside of the facilities was discussed. The concept of the creation of mini clusters was again addressed.
11/06/07.0012 Controlled access was again discussed.
11/06/07.0013 It was discussed that the 25% retention is accurate. Steve inquired if there was an interest of consolidating detention feature? Advantages of linking retention was discussed. It was also discussed that the National Guard would have to have title of the property.
11/06/07.0014 City mandated 19' elevation is not significant, as it does not affect state project. Emmett indicated that State Property cannot be fast-tracked; however, Foundation Property can be fast tracked, which can affect phasing plan.
11/06/07.0015 Steve indicated that there are traffic calming devices that can be used to allow for main boulevard to go through the campus. Additional discussion was had regarding the various traffic calming tools.
11/06/07.0016 It was indicated that GSRI does have sewer & water connections.
11/06/07.0017 Installation of fiber optics was briefly discussed, as it is unknown factor at this point-in-time.
11/06/07.0018 Ron Rodi is contracted to do full utilities.
11/06/07.0019 Steve indicated that meetings with cluster groups are to begin tomorrow. Steve also indicated that several different schemes will be available for review on Friday.
11/06/07.0020 Sketch-up models are available for ASW from National Guard.
11/06/07.0021 Discussion turned to the National Guard reserve center and field maintenance shop. It was indicated that red roof colors are to mimic clay tiles. Clay tiles are planned at dormers, etc. Base is split-face block. Red roof and tile dormers are gesture by the National Guard to follow the LSU main campus design. It was suggested that in lieu of using the additional cost of the clay tiles, this cost could essentially be used to upgrade the guard gate.
11/06/07.0022 It was discussed that metal buildings could be coded as brick skin.
11/06/07.0023 Charles D'Agostino provided images precharrette to serve as a benchmark for the type of facility he envisioned. Steve showed these images to the group.
11/06/07.0024 Floodplain information is to be shared by all parties. Emmett indicated that there is a centergy is between National Guard, Research, and FETI relative to disaster management.
11/06/07.0025 In addition to forty full time personnel during the week, there are National Guard units every other weekend; the same is true for the Marines; and Air Force will piggy back some weekends. This means that there will be approximately 400 persons per weekend. These persons will need food and lodging, creating a need for retail.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 6, 2007
Subject: Opening Presentation

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator		Charlie D'Agostino - LSU Emmett David - LSU Jason Soileau - LSU Ron Rodi - CSRS Steve Losavio - FP&C

Stake Holder Representatives: Emmett David
Jason Soileau
Charlie D'Agostino

- | No. | Item: |
|--------------|--|
| 11/06/07.001 | Steve opened the presentation by orienting the group to site. Steve discussed the concept of a research campus park and possible uses that could potentially be included in the research park. Steve also listed the research parks indicated by the university that would be applicable for this research park. Steve indicated that all of these parks were researched by the Design Team for a better understanding of what this research park should offer in the way of a master plan. |
| 11/06/07.002 | Steve indicated that during the breakout meeting with the National Guard, shared parking, utilities, etc. were discussed. Emmett indicated that the personnel breakdown is: <ul style="list-style-type: none"> National Guard - 40 permanent or full-time personnel National Guard - 400 personnel per weekend University will have 60 permanent personnel |
| 11/06/07.003 | It was indicated that parking will be an issue. Steve suggested the concept of peripheral parking structures, which would first be surface parking, then as the park grew there would be parking structures. The reason for being on the corner edges is to edge the parking structures with buildings and allow for a 5-minute zone. Steve explained the 5-minute walk zone. Retail could be on interior corridor of the site with large parcels for warehousing on the outer edge of the site. |
| 11/06/07.004 | Current demographics includes the dental school. |
| 11/06/07.005 | It was indicated that the ballfield on GSRI will become an assisted living facility. |
| 11/06/07.006 | The purpose or mission of the park is not to be a teaching campus but rather to develop the campus for research, which will be available for private sectors, research parks (products), etc. in with relationship with university. The intended use is for university research, private sector research, other opportunities such as the DNR. |

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION

Charrette Minutes for LSU South Campus Master Planning

- 11/06/07.007 The goal is create a master plan for a research park centered around the interactions of researchers, universities, and public or private sectors.
- 11/06/07.008 Concept Theory:
 - create an grand entrance on Nicholson
 - perimeter parking with some interior parking
 - 136 net developable acres
 - 20 acres wetland (to be treated as an amenity)
 - 20% detention
 - National Guard has 40-50 acres
- 11/06/07.009 Steve pointed-out possible access points onto the property as shown on the concept plan.
- 11/06/07.0010 The site usage is to be both vehicular & pedestrian friendly. Walkability zone is 5-minutes for adults. Steve indicated that if it takes more than 5 minutes to walk to a location, adults will drive. The entirety of site is essentially within the 5-minute walk zone. Parking lots would be on the perimeter of the site with some internalized parking. It is currently anticipated that there will be 1/2 million sf of building (3 stories tall).
- 11/06/07.0011 Steve indicated that the current undefined factor are the users of the park, and that a direction or a mission is needed from the university.
- 11/06/07.0012 Steve indicated that building types are to be coded according to street types. Steve explained the various street types as being "A", "B", and "C" street types. These will correlate to the building types; however, the percentage of building types will need to come from the university. Steve explained the minium code versus maximum code type. It has been suggested by the university that a maximum code is desired; however, confirmation is needed from the university.
- 11/06/07.0013 Steve explained the concept of a roundabout. Steve indicated that a roundabout at the entrance of Nicholson was considered as tool to slow traffic. Steve indicated that another tool is the use of light rail, which could potentially be as a 20-year vision.
- 11/06/07.0014 Steve stated that vistas will terminate at signature buildings. The building skirting boulevard would be "A" type building and would create edges for the background building or "C" type buildings, which is expected to be low cost buildings with minor design.
- 11/06/07.0015 Steve discussed the regulating plan and the concept to create quadrants. Everyone appeared to agree with the quadrant concept.
- 11/06/07.0016 Emmett indicated that National Guard is proposing a signature building or a type "A" building. Steve suggested use of a ceremonial green lawn in conjunction with a terminated vista at a signature building. Steve did not know but thought it may be possible that the National Guard could be an "A" type building, if that was the quality and type of building that the university wanted to develop.
- 11/06/07.0017 Steve suggested mixed-use buildings with openings to the street. Buildings clusters were discussed as another concept. Parking lots were discussed. It was indicated that Robert Day's property will be important factor relative to developmental dynamics.
- 11/06/07.0018 National Guard plans 147,000 sf (\$200/sf). The National Guard building will be St. Joe brick with a red roof, which will tie back to the main campus.
- 11/06/07.0019 Steve indicated that parking structures at the beginning of the project are not feasible; however, surface parking could be developed into structured parking as the project increased in occupants. Charlie inquired as to how the number of parking spaces were determined. Steve explained the formula used to determine the parking count. Steve again explain that there should be surface parking at the beginning of the project; then structure parking as the site builds out.
- 11/06/07.0020 Steve inquired whether three-story buildings would be applicable at the site. Charlie agreed with Steve relative to the height of the three-story building. Steve indicated confirmation is needed with regard to the total square footage of built space as well as the percentage of "A" type buildings to "B" and "C" type buildings.
- 11/06/07.0021 Steve discussed various pod and module sizes.
- 11/06/07.0022 LEED certified development was discussed. Steve discussed active design versus passive design in the land plan. Various LEED certifications were discussed.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION





Charrette Minutes for
LSU South Campus Master Planning

- 11/06/07.0023 Charlie indicated that costs effectiveness was very important factor.. It was indicated that population will be dependant upon research types. Charlie indicated that this research park should be of the same model and caliber as other research parks as Purdue, Arizona and Texas A&M.
- 11/06/07.0024 Parking was again discussed.
- 11/06/07.0025 Ron discussed sewer and water connections.
- 11/06/07.0026 Charlie indicated that the electrical capacity should not be issue and neither should sewer hook-up. Use of force-main was discussed. It was indicated that the campus has a good relationship with Entergy
- 11/06/07.0027 Steve thanked everyone for their input and invited everyone to the closing presentation.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 7, 2007
Subject: Disaster Management

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman – Charrette Mgr Haley Blakeman – Landscape/Design Team Bao Tran – Design Team Jeremy Durham – Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard – Arch. Illustrator	Jeff Gleason - FETI Vic Howell - ARC Lloyd Blanchard - LSU Tom Anderson - First Responder Warren Eller - SDMI Jennifer Bulter - SDMI Bob Fudickar - LED Joann Moreau - City-Parish Emergency	Jeff Gleason - FETI Vic Howell - ARC Lloyd Blanchard - LSU Tom Anderson - First Responder Warren Eller - SDMI Jennifer Bulter - SDMI Bob Fudickar - LED Emmett David - LSU Charlie D'Agostino - LSU

Stake Holder Representatives
Emmett David
Jason Soileau
Charlie D'Agostino

- | No. | Item: |
|--------------|---|
| 11/07/07.001 | Steve opened the meeting by orienting everyone to the site. |
| 11/07/07.002 | Steve indicated that during the break-out session with the National Guard, the use of shared parking was discussed. It was also discussed that there are plans to have 40 full-time employees and approximately 400 National Guard, Marine, and Air Force reservist every weekend; and that these people will need place to eat and sleep, as they will not be housed on base. |
| 11/07/07.003 | Steve also indicated that there will be approximately 5,000 persons at build out, not including the National Guard. The scale of the buildings will be between two to three stories in height. Setbacks were briefly discussed. It was indicated that set backs at Highland are at 100'. Signature buildings will be at the end of the terminated vistas and type "A" buildings would line the "A" type streets. Charlie indicated "A" building types are okay, but the research park has to be affordable. Discussion was had regarding the street types. Steve indicated that the integrity of the park would need to be protected, if it did not want to become a low level or low caliber research park, particularly if it wanted to be nationally known. Charlie indicated that it should be noted that the park will not be subsidized, it will have to function on its own. |
| 11/07/07.004 | It was indicated that it is safe to assume that the research park will be for research and not academic in nature. |
| 11/07/07.005 | Business models were discussed. It was discussed that the National Guard has design standard building type which may be a signature type building at \$200/sf. Discussion was had relative to the regional average cost of \$200 sf. It was indicated that it would be more reasonable if the costs were \$130 to \$140 for building only. |

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





- 11/07/07.006 Charlie indicated that a 20-year build out is expected.
- 11/07/07.007 Tom indicated that a premium should be attached to LSU brand. It was indicated however that this cannot occur until the site is established as a viable research park. There was some discussion as to how this could be obtained. Charlie indicated that the university wanted to attract clients in the research caliber such as at Purdue and Texas A&M. Emmett indicated that this could be achieved through solid planning and good architecture.
- 11/07/07.008 Lloyd indicated that the research park needed to be cost conscious and be a viable business model. Steve discussed architectural concepts relative to cost structure and uses. Steve inquired about the variety of cost model mix? What is the minimal standard? What is the assumption of use? These were identified as Coast Science, Chemistry, Engineering, etc. It was indicated that the strengths of departments needed to be determined in order to calibrate cost. Steve indicated that a determination of who and of what caliber was intended for the site need an immediate resolution.
- 11/07/07.009 Lloyd inquired about the needs of site, given timing of commitment such as National Guard and American Red Cross. Discussion was had regarding the location of the American Red Cross and its commitment to the project.
- 11/07/07.0010 Steve inquired to what was the mission or vision of the university, and is it a security driven concept? Steve indicated that peer models identified by the university are:
 - ▶ Purdue Research Park
 - ▶ NCSU - Centennial Campus
 - ▶ Idealliance / Piedmont Triad Research Park
 - ▶ Texas A&M Research Park
- 11/07/07.0011 Uses within the research park are currently identified as:
 - ▶ bio-tech
 - ▶ life science incubators (50 acres)
 - ▶ food services
 - ▶ disaster management
 - ▶ private sectors
- 11/07/07.0012 Tom indicated that the mission is driven by location with multiple use targets: internet, green buildings, technical support, bio fuels, etc.
- 11/07/07.0013 Emmett indicated that fluid design needs to be considered for five year change. Emmett also indicated that the National Guard building standard for this site is very ridged and very prescribed with minimum security considerations.
- 11/07/07.0014 Emmett indicated that it is the board of supervisors who governs the mission.
- 11/07/07.0015 Steve indicated that a warehouse district could be identify, if this is the direction of the university. And that a price level of each tier or street type also needed to be identify. Lloyd indicated that cost requirement for clients would need to be defined and still set forth vision.
- 11/07/07.0016 Steve discussed character of park and that the design team would develop a design code would need to be adhere to, if the park is to be successful
- 11/07/07.0017 There was discussion about LSU being three-tiered school, and whether it wanted to remain that way or push forward to be nationally recognized for its research. Steve indicated that the site is basically a virgin site, whether it is determined to be a modern research park or an industrial park, the university has the final determination. Steve indicated that he would abide by whatever decision was made. Tom indicated that site amenities is what would attract the competition.
- 11/07/07.0018 It was indicated that partnering or co-sharing needs to occur. It was also discussed that the quality of life also needs to be considered.
- 11/07/07.0019 Steve inquired if his formula of 1/3 high end, 1/3 mid-end, and 1/3 low end buildings was on target? Discussion was had regarding the need for affordable leasing. Tom indicated that the focus needs to be on a sales point or vision of the future of the research park. Emmett indicated that there can be some aesthetic choices but maintain sense of architectural style. Steve indicated that this is relevant if there is to be a cohesiveness through out the site. Steve indicated that flexibility are important points relative to buildings with regard to clusters or quads of building and street types.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

- 11/07/07.0020 A question was raised about the current buildings. Emmett indicated that the current buildings are too remain.
- 11/07/07.0021 The need for of double looping systems was extensively discussed. It was indicated that there would be an interrupted power, security, and fiber optics, particularly if the mission is to be disaster management.
- 11/07/07.0022 Steve inquired if the university wanted green buildings. It was agreed that there should be LEED certification if the site is to be progressive research park. Much discussion was had regarding the varying types of LEED certifications.
- 11/07/07.0023 Steve indicated building type needed to be established in order to have a cohesiveness to the site.
- 11/07/07.0024 Steve briefly touched on wetland / retention / detention. Steve explained that water can only exit at the same controlled rate in which it existed prior construction.
- 11/07/07.0025 Bob Fudickar indicated that he was fairly new at the campus and inquired as to the vision of why people would come here - is it because it is affordable, a nice place, or innovative researchers. He indicated that he thought that these were basic questions that need to be determined in order to create a viable mission. Tom indicated that if the reason was for research, then creating a research center needed be state-of-the-art in order to attract those researchers from A&M, etc. Competition is what makes people want to come to LSU. Steve indicated that defining the type of competition or defining the mission is what is lacking. It was indicated that energy is what makes people come to Louisiana. There were also discussions about coastal restoration and the immediate need to research disaster management, particularly with the disasters left by Hurrricanes Katrina & Rita. The timing of disaster management is now. There are a lot of opportunities for research whether it is food sciences or bio-fuels or vet science. Timing opportunities will not present itself any better than the present.
- 11/07/07.0026 Steve indicated that building types as well as a percentage of building types needed to be immediately defined. Steve inquired about a definitive answer relative to the vision and mission of the park. Lloyd indicated that a portfolio of reasons need to be developed for future opportunities.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 7, 2007
Subject: DNR

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator		

Stake Holder Representatives: Emmett David, Jason Soileau, Charlie D'Agostino

No. Item:

11/07/07.001 Meeting canceled. Attendees did not attend scheduled meeting.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan - Food Technology
Date: November 7, 2007
Subject: Food Technology

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	Mark Schexnayder - LSU Ag Dr. John Finley - LSU Food Science Gaye Sandoz - Ascension Parish Food Incubator Paul Coreil - LSU Ag	Mark Schexnayder - LSU Ag Dr. John Finley - LSU Food Science Gaye Sandoz - Ascension Parish Food Incubator Paul Coreil - LSU Ag

Stake Holder Representatives: Emmett David, Jason Soileau, Charlie D'Agostino

No. Item:

- 11/07/07.001 Steve oriented everyone to the site. Steve defined the two types of developmental research parks and the various entities that would service the campus. Street types were discussed as well as the building types that would be allowed in the developed Code. The current goal is to create a land plan.
- 11/07/07.002 It was inquired as to whom the tenants would be. Steve indicated that the various type of tenants would be from the public, governmental, private sectors.
- 11/07/07.003 Financing of the various entities was discussed - development through USDA, baking, address food security, service a training ground, food processing, public/private sectors
- 11/07/07.004 A 30,000 sf facility would be adequate for a food service pilot - single structure with 10' ceiling.
- 11/07/07.005 It was indicated that Louisiana leads the nation in seafood processing. Discussions were had relative to the percentage of return that could come from the by-product(s). It was discussed that there is regulation of the percentage of the by-product such as oyster shells, etc. are required to be return to the bays and reefs.
- 11/07/07.006 It was inquired to what the long-term expectation of the build-out of the research park is expected to be? Steve indicated that the university is looking at 15-20 years.
- 11/07/07.007 Discussions were had regarding the possibility of teaming up Ag and food science for research funds/grants.
- 11/07/07.008 Gaye gave a summary of marketing aspects of the food kitchen incubator and how it could co-mingle with a Conference Center for business and marketing tools. It could be a research, teaching, and marketing type.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





- 11/07/07/.009 John indicated that he did not see the research center as a place for processing because there are already plant in place but rather more of a research and training, or marketing labs or pilot facility .
- 11/07/07/.0010 Gaye indicated that there is need or emphasis for packing, labeling, etc. on the incubator side.
- 11/07/07/.0011 There could be a research for a break thru from the by-product of fish
- 11/07/07/.0012 It was indicated that the equipment for training is changed out every five years or so. Gaye indicated that the concept would need to be flexible and everything on rollers. There could be the potential for some sharing such as the flash freezer.
- 11/07/07/.0013 Lab size, loading docks, CJMP were briefly discussed. It was discussed that there is the need for a wet floor, baking facility, culinary kitchen with auditorium seating. The facility could be used on weekend to teach food cooking courses as additional income. Gaye indicated that there is a more complete utilization of the product if marketing, packing, etc. is all part of the package. This would greatly aide the incubator process. It was discussed that the packing program is the opportunity and delivery would be the R&D portion. The career center with business development & graphics with a team of different disciplines is needed for the incubator program.
- 11/07/07/.0014 Other research areas are dairy, food technology, disaster management, etc. Adjacencies of various components were discussed. There is food pilot on campus. Because these are industrial in nature, and they would not an "A" type building or be on a n "A" street type.
- 11/07/07/.0015 It was indicated that the mussel lab cannot be part of the research park. It was indicated that this research park must competitive with Nebraska.
- 11/07/07/.0016 The square footage of Ag Dept. was briefly discussed.
- 11/07/07/.0017 It was discussed that spoil by-products are disposed for a true pilot; however there, is no need for incinerator because the small quantities. It is not a processing procedure.
- 11/07/07/.0018 There could be kitchens for entrepreneurs. There is a need for five kitchens centers with shared offices and support of a business center. Entrepreneurs come for knowledge and technology; then go take their consumer goods to be business world.
- 11/07/07/.0019 Sea Grant for processing was briefly discussed. Sea Grant was discussed as being a resource to seafood industries.
- 11/07/07/.0020 Currently there is no major seafood service research facility.
- 11/07/07/.0021 Coastal restoration is very high on the list of research technology. It was discussed that there is no reason why the coastal restoration efforts could not be located at this research park. Additionally, there are federal dollars associated with this technology.
- 11/07/07/.0022 Bio-fuels research is positioned to become a reality. Energy conservation will be big demand if the cost of petroleum based products continue to rise. Construction technology was discussed. There is an immediate need for a blow-out school for petroleum based construction. Construction technology requires high bay building

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan - Food Technology
Date: November 7, 2007
Subject: Environmental

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator		

Stake Holder Representatives Emmett David
Jason Soileau
Charlie D'Agostino

No. Item:

11/07/07/.001 Meeting canceled.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 8, 2007
Subject: Lunch with Mayor

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	Walter Monsour - Mayor's Office Kevin Couhig Pete Kelleher - LSU IP Pete Stewart - Trace Securities Terry Jones - Dean Capital Joan Young - Chamber of Commerce Mike Olivier - Economic Develop Lloyd Blanchard - LSU Charlie D'Agostino - LSU	Peter Couhig Pete Kelleher - LSU IP Pete Stewart - Trace Securities Terry Jones - Dean Capital Joan Young - Chamber of Commerce Mike Olivier - Economic Develop Lloyd Blanchard - LSU Charlie D'Agostino - LSU Kirk Bush CC Richardson Arthur Cooper Pat

Stake Holder Representatives: Emmett David, Jason Soileau, Charlie D'Agostino

No.	Item:
11/07/08.001	Charlie opened the meeting by stating the purpose of the meeting and requested that all attendees introduce themselves.
11/07/08.002	After introductions Steve indicated that the Design Team would be working all week and that everyone was welcomed to attend any of the breakout meetings and particularly the closing presentation.
11/07/08.003	Steve gave a brief explanation of the meaning of the word "charrette", and its relation to the purpose of why the design team was present. Steve oriented the group to the 230 acre site, and indicated that several valid concepts have already been developed. These concepts would be reviewed and discussed, after which the team would take the feedback, use the best of all the concepts and develop a more concise concept plan.
11/07/08.004	Steve indicated that the LSU South Campus mission in its broadest sense is to develop a research park, and after several meetings (break out sessions), a more narrow mission is disaster management.
11/07/08.005	The National Guard is to be one of the users and will interface with mission of disaster management. Ground breaking scheduled for April. Remaining users are not all defined. It is concluded that design of campus is going to be a concept of engagement of all types of formats or users. A "sense of place" will need to be created in order to attract other entities, whether they are in the form of disaster management or other user types.
11/07/08.006	Nicholson is a State Highway but will be primary frontage. The design team will create a document that will be the framework of the master plan or design guidelines, which will define have buildings, streets, products, etc.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION

- 11/07/08.007 The market is geared at a variety of users, which will include some warehouse buildings as well as high-ended buildings.
- 11/07/08.008 A hierarchy of streets as 1/3 - high ended ("A" type building structures), 1/3 middle ended ("B" type buildings and/or streets), and 1/3 lower ended ("C" street/building types such as ware house, high structure, service buildings, etc). These will all be set up in varying clusters. Cluster design (building & site) was discussed
- 11/07/08.009 It was stressed that flexibility is most valid point that should be considered in any research park.
- 11/07/08.0010 Steve indicated that a proposal is to supplement wetland as amenity; with creation of a detention basin to be used as park with jogging trails, tennis courts, etc. green will be edged with two-story buildings.
- 11/07/08.0011 Warehouse buildings will be coded to be rear of the site on the larger parcels.
- 11/07/08.0012 A ceremonial entry with roundabout was discussed. The potential of a light rail was discussed as been a need to go from the research park to the main campus and/or downtown.
- 11/07/08.0013 LEED certification was discussed (level of intended certification is unknown). Steve indicated that the master plan would be LEED certified. Building could be LEED certified as green buildings, depending financial level of buildings.
- 11/07/08.0014 Steve discussed advantages of adjacencies of various building components.
- 11/07/08.0015 Steve discussed the concentration of parking components as well as shared parking. There would be some on- street parking for retail but minimal.
- 11/07/08.0016 The 5-min walk zone was discussed..
- 11/07/08.0017 Steve discussed the concept of a oak alley lining campus, which would tie in with the main campus.
- 11/07/08.0018 Several concepts have been drawn to create dialog among stakeholders. Steve indicated that "sense of place" will ultimately need to be established.

CONCERNS / COMMENTS

- 11/07/08.0019 Is National Guard planning to co-share parking?
- 11/07/08.0020 Is there a master developer?
- 11/07/08.0021 PPP (public / private / partners) was discussed.
- 11/07/08.0022 What is the magnet to make someone want to come to this particular research park?
- 11/07/08.0023 Disaster & coastal (DNR) management as vision & food technology (USDA food lab)
- 11/07/08.0024 What is the commitment level of the American Red Cross training program & National Guard?
- 11/07/08.0025 Is the infrastructure financing through capitol outlay?
- 11/07/08.0026 Much internal discussion was had regarding funding for the research park. Ownership of property was discussed.
- 11/07/08.0027 Various potential users were identified as bio fuels / bio sciences / Ag Center / Vet Science / Food Technologies / Coast Erosion / Creation of new technologies / Center of Construction
- 11/07/08.0028 The park could potentially house future programs such as work force training.
- 11/07/08.0029 A loop system was discussed as a need and potential partnerships that could be created through State and Private Sectors.
- 11/07/08.0030 Mike Olivier discussed the use of new market credits and other possible exemptions.
- 11/07/08.0031 Charlie indicated that a vision document needed to be created. Steve indicated that this would extremely helpful.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION





Charrette Minutes for
LSU South Campus Master Planning

- 11/07/08.0032 It was discussed that existing building are to remain.
- 11/07/08.0033 Steve indicated that parking model will initially be surface and future to be vertical.
- 11/07/08.0034 The need for fiber optics (LONNIE) was discussed as well as the need for a data center.
- 11/07/08.0035 NTG is a magnet.
- 11/07/08.0036 Marketing / targeting program were discussed.
- 11/07/08.0037 Steve indicated that he need the intended percentage of warehouse, signature buildings, etc
- 11/07/08.0038 It was discussed that disaster management time line needs to be defined.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 8, 2007
Subject: Vet Science and Ag

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman – Charrette Mgr Haley Blakeman – Landscape/Design Team Bao Tran – Design Team Jeremy Durham – Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard – Arch. Illustrator		Jeff Campbell David Heidke Jason Soileau

Stake Holder Representatives
Emmett David
Jason Soileau
Charlie D'Agostino

- | No. | Item: |
|--------------|---|
| 11/08/07.001 | Steve gave a brief orientation of the current conceptual drawings. |
| 11/08/07.002 | Steve indicated the following: <ul style="list-style-type: none"> ▪ National Guard expects 400 persons per weekend with 40 full-time personnel during the week. ▪ A Business Center is a need that has been discussed. It could potentially partner with food technology incubators. ▪ There will be a need for coffee shops, sandwich shops, etc. ▪ The expansion of a hotel should be explored. |
| 11/08/07.003 | Steve discussed the utilization of “mom & pop” shops, which would could potentially come from the food/kitchen incubators. The potential of a health club was discussed. The parking needs of a health club was discussed. Steve indicated that parking could be carded parking. Other parking would be perimeter parking. |
| 11/08/07.004 | The post office and cleaners could potentially be in the park center. Parking would be internal or on- street. |
| 11/08/07.005 | Steve discussed street types as being “A”, “B”, and “C” streets, which would correlate with building types. Internal parking was also discussed. Retail parking would be on-street parking. Steve indicated that 2.8 million sf is expected at build-out. Out parcels were also discussed as well as urban and town centers. Condominiums could potentially interface with retail as part of the center. Cross use of parking for downloading of parking was discussed. It was discussed that a “sense of place” must be established. |
| 11/08/07.006 | Two potential tenants are currently American Red Cross and National Guard. |
| 11/08/07.007 | Wetland restoration was discussed. Detention will require 33 acres and could be an amenity. |

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





Charrette Minutes for
LSU South Campus Master Planning

11/08/07.008 Mission although not officially defined, seems to be disaster management.

11/08/07.009 Concerns and/or Comments

- ▶ retail and food services need to be located near high traffic areas
- ▶ funding options could be through the community research
- ▶ inflow of students would be preferred to the outflow of graduating students
- ▶ National Guard time schedule - plans to break ground in April
- ▶ mission is market driven

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan

Date: November 8, 2007

Subject: Parking & Transit

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator		Gary Graham - LSU Jason Soileau - LSU

Stake Holder Representatives
Emmett David
Jason Soileau
Charlie D'Agostino

No. Item:

- 11/08/07.001 Haley discussed the following:
- ▶ site orientation
 - ▶ use of light rail
 - ▶ use of wetlands and detention as amenities
 - ▶ location of future hotel site
 - ▶ street types
 - ▶ type "A"
 - ▶ type "B"
 - ▶ type "C"
 - ▶ location and use of a roundabout at Nicholson
 - ▶ concept of an oak alley at Nicholson, additionally this would be a tie back to main campus
 - ▶ National Guard
 - ▶ anticipating approximately 400 cars per weekend
 - ▶ will share parking during the week
 - ▶ concept of quads and their sizes
 - ▶ GSRI
 - ▶ to be used as service access
 - ▶ location of high bay areas or industrial zone
 - ▶ American Red Cross & DNR operations are expected on site

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





Charrette Minutes for
LSU South Campus Master Planning

11/08/07.002 Concerns and/or Comments

- ▶ an immediate transit stop will be needed in addition to light rail
- ▶ bus shelter could be placed at center as a civic piece
- ▶ consideration of tour buses will be essential, particularly if there is to be a hotel located at the site
- ▶ are alternate routes being considered
- ▶ roundabout at Nicholson should be reconsidered due to the following:
 - ▶ road will become a four-lane
 - ▶ industrial traffic highway
 - ▶ railroad issues
 - ▶ gasline issues
- ▶ site drainage flows in both directions

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 9, 2007
Subject: Engineers

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	David Assaf III Michael Guillory Cliff Gillio Jim Mayne Kathi Cowehn Keith Shackelford Ron Courtage Neal Pendleton, III	Emmet David Jason Soileau David Assaf III Michael Guillory Cliff Gillio Jim Mayne Kathi Cowehn Keith Shackelford Ron Courtage Neal Pendleton, III

Stake Holder Representatives: Emmett David
Jason Soileau
Charlie D'Agostino

No.	Item:
11/09/07.001	Steve explained the following <ul style="list-style-type: none"> ▶ the site is 239 acres ▶ current basic scheme concepts ▶ the understanding who the user will be and the perception of LSU's vision ▶ National Guard & American Red Cross are both ready to break ground ▶ street types (A, B, & C type streets) ▶ building types (A, B, & C type buildings) ▶ building type A would be signature buildings with a ceremonial entry ▶ building type C would be industrial type buildings ▶ building type B would fall somewhere in between A & C type buildings and/or streets ▶ current market trend ▶ master plan is to address current market demands with the vision of the future high-end tenants ▶ 2.8 m sf of building in various configuration is anticipated
11/09/07.002	Nicholson is currently rural but to be more urban in nature.
11/09/07.003	Business park versus research park was discussed.
11/09/07.004	The roundabout that anticipate during the initial conceptual plan is no longer a viable concept; however, a corridor or a boulevard with live oak trees is being supported. This boulevard type street would tie back to the main campus.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





Charrette Minutes for
LSU South Campus Master Planning

- 11/09/07.005 "C" type streets are to be internal to the property and would house metal buildings with industrial quality skin.
- 11/09/07.006 The National Guard building would be a high "B" type building and perhaps an "A" type building. The National Guard owns 50 acres and is ready to break ground.
- 11/09/07.007 The wetland portion of the site is to be improved to be an amenity to property with a walking/jogging path, water features, etc. An amphitheater is anticipated to be within close proximity to this amenity. Thirty-three (33) acres are required for detention. The current flow of water runoff was discussed.
- 11/09/07.008 The design team's goal to continue the dialogue and interface all information received to into a final scheme.
- 11/09/07.009 It is anticipated that there will be mix-use center with a hotel, a business center (3 story) as civic core, and retail. There will be approximately 5,000 people at build out.
- 11/09/07.0010 Discussions have indicated that the land plan and possibly some buildings are to be LEED certified. One set back is the humidity factor in Louisiana.
- 11/09/07.0011 There are some market need for larger parcels properties, which will be accommodated. The American Red Cross, which is 99% assured of wanting to lease property, needs a 4 acre tract. The location is yet to be confirmed. The discussion is that they want to have college for training in the preparation and execution of disaster management
- 11/09/07.0012 Various parcels have been designed with flexibility. The current building are to remain, and are to be lined with additional buildings and perhaps landscaped.
- 11/09/07.0013 Terminated boulevards were discussed.
- 11/09/07.0014 Steve indicated that there are 92 acres of developable property. It is anticipated that building heights will vary from one to three stories.
- 11/09/07.0015 Through meetings and discussions, mission of the research park is to be disaster management. Steve indicated that with each passing breakout session, there are a large number of various sectors disaster management programs from military to food management to construction technology for petroleum based products
- 11/09/07.0016 Much discussion centered around the need for centralized chillers and a loop system. A utility corridor was also discussed.
- 11/09/07.0017 Steve indicated that there will be a Code that will define building form, set back, landscape, etc.
- 11/09/07.0018 Discussion also took place regarding the zoning of parcels with a centralized plants per zone.
- 11/09/07.0019 Steve indicated that one breakout session revealed that incubate companies could develop into a major business whereby needing to acquire larger space to rent.
- 11/09/07.0020 Structured parking was briefly discussed.
- 11/09/07.0021 Much discussion was had relative to the need for packaging of utilities as a base cost. There could be centralize chilled water plant (26" pipe) with heating of separate building. It was also agreed upon that chilled water needs to be considered as utility package.
- 11/09/07.0022 Boilers in each building would be cheapest way to heat buildings.
- 11/09/07.0023 There was a discussion of the need for a Data Center on site, which could also be considered as a base cost.
- 11/09/07.0024 Discussion turned to the need to concentrate on a building phase for cohesion of building types, utilities, etc.
- 11/09/07.0025 A limited discussion was had about improving the existing plant to service National Guard.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

Charrette Minutes for
LSU South Campus Master Planning

- 11/09/07.0026 Steve indicated that there will internal parking with the majority parking on peripheral areas of the site.
- 11/09/07.0027 Much discussion was had relative to a utility easement. Emmett inquired if a \$5M budget for utilities.
- 11/09/07.0028 Utility easement - 20' - 25' easement with loop is needed.
 - ▶ chill water (6")
 - ▶ domestic water (8")
 - ▶ fire water (12")
 - ▶ gas (6")
 - ▶ electricity at multiple points (Entergy on GSRI)
 - ▶ power (4")
 - ▶ data / communications
 - ▶ sewer on bldg frontage
- 11/09/07.0029 It was discussed an electrical substation (100x100) will most likely be required. It was discussed that a modular chiller plant could occur immediately.
- 11/09/07.0030 Subsurface drainage was briefly discussed.
- 11/09/07.0031 Some discussion was had regarding the development of quad in front of National Guard .
- 11/09/07.0032 American Red Cross will be 30,000 sf build out.
- 11/09/07.0033 It was suggested that the timing of National Guard and American Red Cross completion should be checked; unless, they establish their own utilities.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 9, 2007
Subject: Program Focus #2 Mtg

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator		

Stake Holder Representatives: Emmett David
Jason Soileau
Charlie D'Agostino

No. Item:

11/09/07.001 Meeting canceled. Attendees did not attend scheduled meeting.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 9, 2007
Subject: Program Focus #2 Mtg

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	Pratul Ajmera	Pratul Ajmera Emmett David - LSU

Stake Holder Representatives: Emmett David
Jason Soileau
Charlie D'Agostino

No. Item:

11/09/07.001 Emmett gave quick orientation of the site and a short briefing of its intended purpose.

11/09/07.002 Discussion was had regarding the different type buildings and street types.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
37.237.2213 FAX
A PROFESSIONAL CORPORATION





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan
Date: November 9, 2007
Subject: Stakeholder Feedback

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	Jim Howell Charlie D'Agostino	Jim Howell - LSU Emmet David - LSU Jason Soileau - LSU

Stake Holder Representatives: Emmett David
Jason Soileau
Charlie D'Agostino

No. Item:

- 11/09/07.001 Steve briefly explained the following
 - ▶ the current site is 239 acres with 50 areas dedicated to National Guard
 - ▶ basic scheme concepts
 - ▶ street and building types
 - ▶ building type "A" would be signature buildings with a ceremonial entry
 - ▶ building type C would be industrial type buildings
 - ▶ master plan is to address current market demands with the vision of the future high-end tenants
 - ▶ 2.8 m sf of building in various configurations is anticipated
 - ▶ National Guard & American Red Cross are both ready to break ground
- 11/09/07.002 Steve indicated that the main street core is to be a mixed use space with hotel, convenience store, retail, restaurants, etc. Northwest area of the site is a wetland with an additional 33 acres of post tension detention.
- 11/09/07.003 Steve discussed creating a "sense of place" in the form of zones or clusters concept.
- 11/09/07.004 The goal is to have a code in the form of a regulating plan, street types would be delineated, and a code whether the park is pedestrian or vehicular type campus.
- 11/09/07.005 Jim inquired to what market is believed to be. Steve indicated that there is a disparity as to the building types perceived the university personnel; however, the design team needed a solid direction in which to design the master plan. Steve indicated that the mission has been determined through various sessions as being disaster management, which would include food services as well as other applications.

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION

Charrette Minutes for LSU South Campus Master Planning

- 11/09/07.006 Jim indicated that some type of phasing would need to occur. Steve and Emmett agreed with this point.
- 11/09/07.007 Steve indicated that Lloyd had indicated at yesterday's meeting that he would be willing to move his people to the park at some future point.
- 11/09/07.008 Steve also indicated that a future business center appears to be a major component of the research park. There is also a need for an auditorium.
- 11/09/07.009 It is the intention of the American Red Cross to have training at the site for disaster management. Federal applications would also be attracted to the park.
- 11/09/07.0010 Building types need to identify for the design team to move forward. The Master Plan will address form, style, materials, etc.
- 11/09/07.0011 Steve discussed the various types of building types and that one to three signature building would need to occur at terminated streets. These buildings would or could be civic pieces. Steve indicated that a cohesiveness is needed through out the park.
- 11/09/07.0012 Various building types were exhibited through a PowerPoint presentation and building types were assigned to each photo, including classic LSU University style buildings, for use in determining future building types at the research park. Jim suggested using the form of the classic LSU campus but more modern form, since it will be a research park.
- 11/09/07.0013 Emmett indicated that there could be progression of the classic LSU buildings to the more modern buildings could be part of the final presentation.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX
A PROFESSIONAL CORPORATION





ARCHITECTS SOUTHWEST

ARCHITECTURE
TOWN PLANNING
INTERIORS

Meeting Minutes

Project Name: LSU South Campus Master Plan

Date: November 12, 2007

Subject: Stakeholder Review Meeting

Charrette Design Team	Invited Attendees	Attendees
Steve Oubre - Project Manager Angie Fogleman - Charrette Mgr Haley Blakeman - Landscape/Design Team Bao Tran - Design Team Jeremy Durham - Design Team Steven Domingue - Design Team Mike Comeaux - Design Team Michael W. Broussard - Arch. Illustrator	Stakeholders	Steve Losavio - FP&C Jason Soileau - LSU

Stake Holder Representatives
Emmett David
Jason Soileau
Charlie D'Agostino

- No. Item:
-
- 11/12/07.001 Steve gave a brief orientation of site. Steve indicated that there is a disparity in clients and users.
 - 11/12/07.002 Steve explained street types and as result of the various breakout meetings, it has been determined that streets are categorized as Type A, B, C, & D. Plans are oriented by building type; furthermore, the percentages by building type are:
 - ▶ 50% C and D types
 - ▶ 30% B types
 - ▶ 20% A type
 - 11/12/07.003 Because of the complexity of the unknown end users, the master plan address this disparity in a number of ways to accommodate flexibility. The design is such that the percentages can increase or decrease according to the market. According to the understanding of previous stakeholder meetings, market will ultimately define or control the percentage of users. One way of controlling the disparity of percentage of build-out of too many of one type of building is through the use of a phasing plan, which will be defined in the code. Steve indicated that if the university follows the phasing plan, a "sense of place" will lend support to defining the type of place that will be embraced by all users. Steve also indicated that without a phasing plan there will be sporadic buildings on the site and the cohesion and "sense of place" will not occur.
 - 11/12/07.004 Steve Losavio inquired about the frequency of revision of this type of project? Steve Oubre indicated that an urban design is a ten-year plan with revision every five years; however, this may occur more often due to the nature of the research.
 - 11/12/07.005 Steve indicated that the American Red Cross will be a "B" or "C" type building and will be adjacent to the parking lot. "C" streets will be internal to allow for "C" and "D" type buildings and will be mandated to be one-story buildings. The regulation code was also discussed.

- 11/12/07.006 Steve indicated that the Master Plan is the framework for the logical progression of what is to occur.
- 11/12/07.007 Jason suggested naming the districts. Steve indicated that this has been done in a very generically; i.e. central district, general district and edge district. This will define the requirements of the build-out of the districts.
- 11/12/07.008 Steve L. indicated that the Homeland Security was already located in Baton Rouge, but inquired if it could have theoretically been located at the research park? Steve Oubre indicated that it would have been an excellent opportunity, particularly, since the mission of the park has turned out to be disaster management. The discussion include the various user types that have indicated an interest, including the National Guard. The National Guard currently has plans for a \$60 million project and will buffer the residential area as will the parking garage.
- 11/12/07.009 The flood plain elevation was discussed as being at 19'. Thirty-three acres of detention is required. The wetland and detention areas will be addressed as amenities to the site. There will be a 25' utility easement and is to be looped to meet disaster management requirements.
- 11/12/07.0010 Steve Losavio inquired about the maximum population at build out. Steve Oubre indicated that the projection is 2.8 million square feet, which is between 5-6,000 people.
- 11/12/07.0011 Steve indicated that the final presentation will be at 5:00 pm on Tuesday, November 12th.

The above represents the general minutes and observation held during the meeting. Please contact the undersigned upon receipt of this document, if you feel information has been misinterpreted, omitted, or if there are any questions or comments.

By: Angelique B. Fogleman
Angelique Fogleman, ASW Charrette Manager

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX

534 JEFFERSON STREET
LAFAYETTE, LA 70501
337.237.2211 TEL
337.237.2213 FAX

